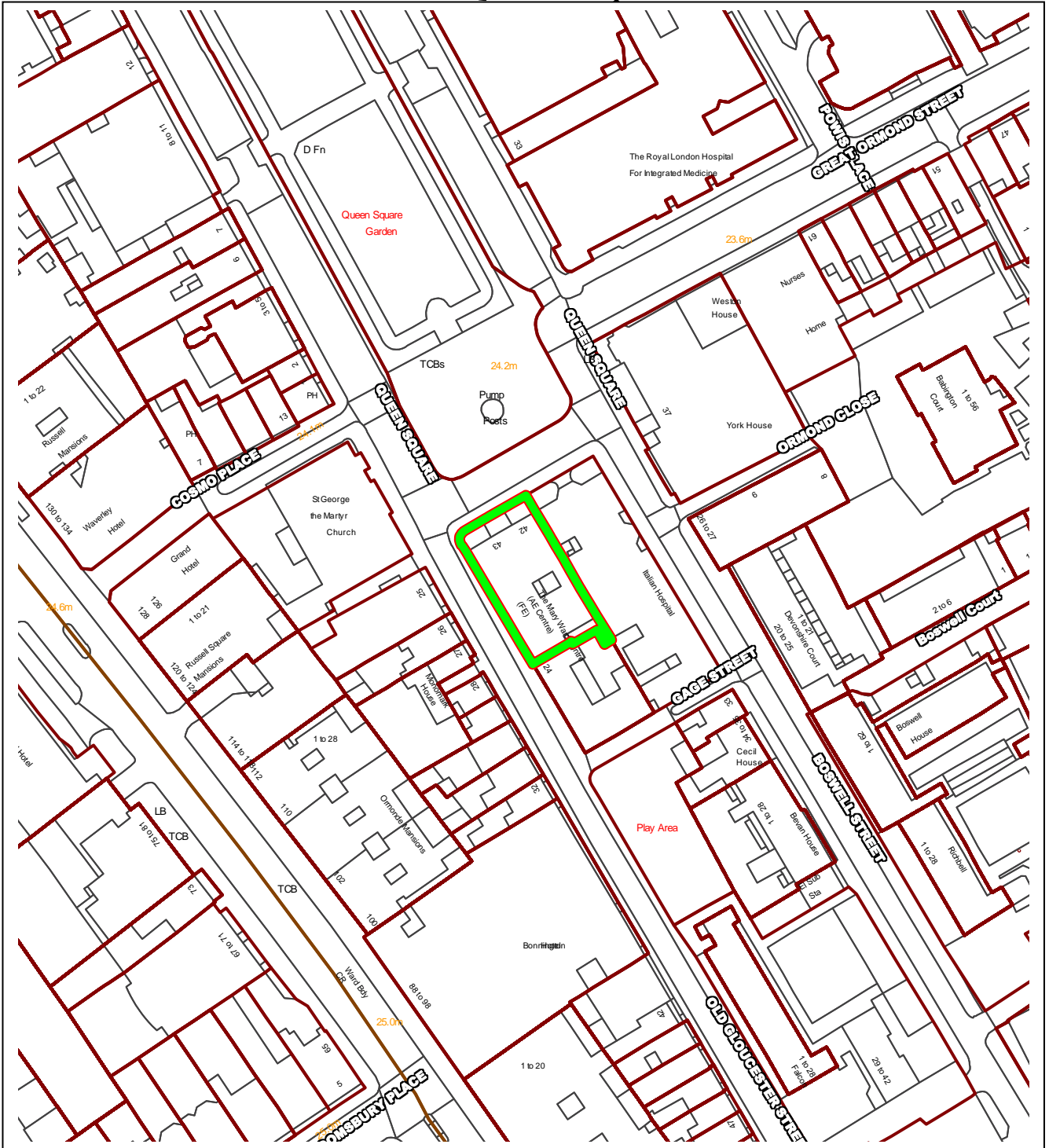


# 2024/2047/P & 2024/2090/L

## 42-43 Queen Square



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2024/2047/P & 2024/2090/L  
42-43 Queen Square

### Photos and Plans

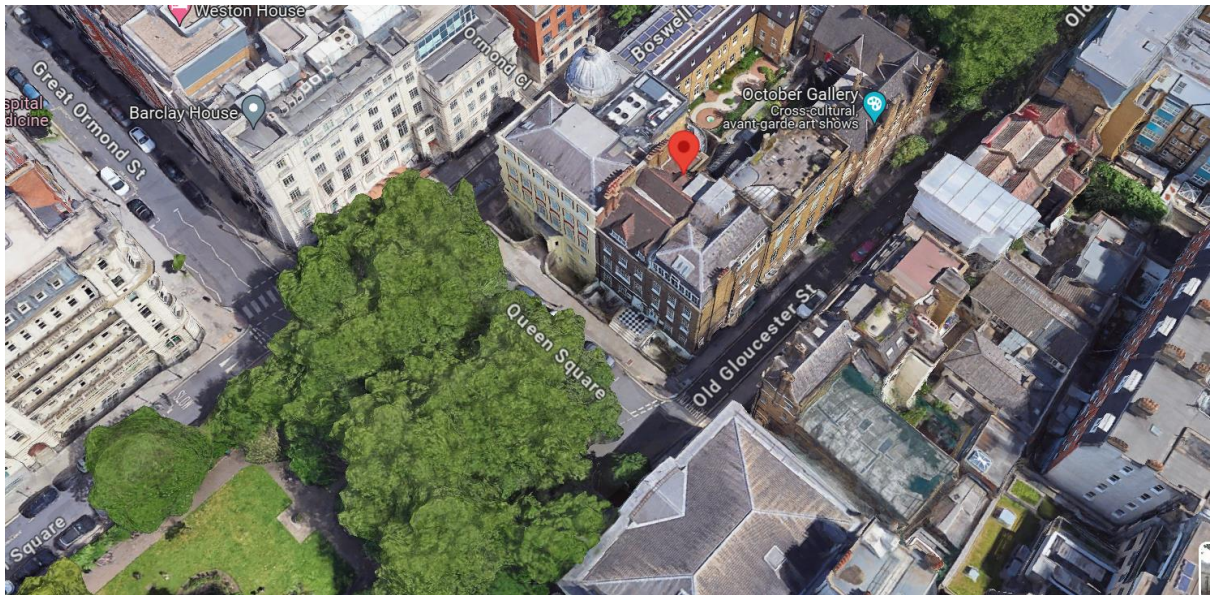


Fig 1. Aerial view of 42-43 Queen Square.



Fig 1. Proposed front elevation.

Photos and Plans



Fig 3. Proposed side elevation



Fig 4. Proposed front elevation (basement level) showing area of demolition in order to install cancer treatment machinery.

Photos and Plans

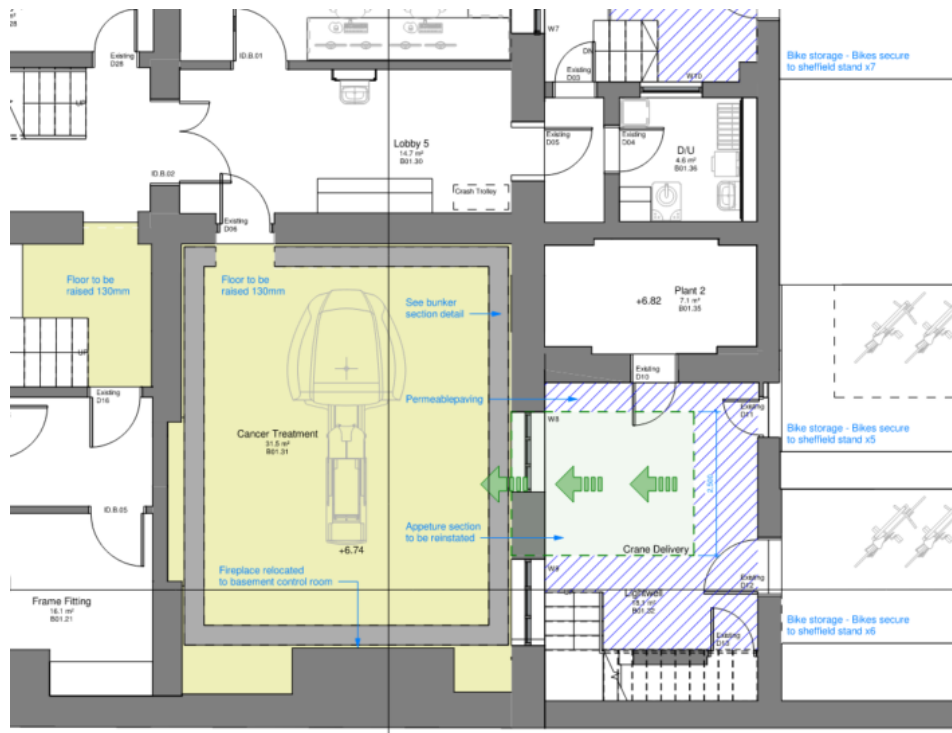
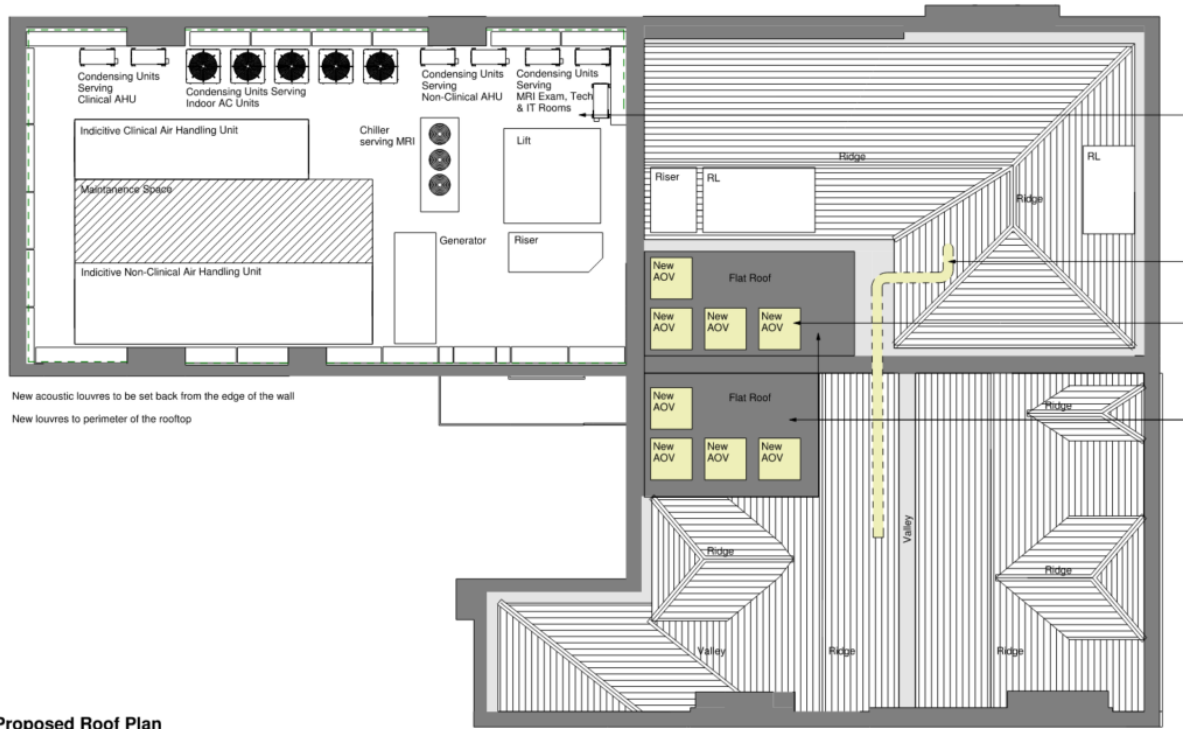


Fig 5. Proposed lower ground floor plan showing location of cancer treatment machinery.



Fig 6. Proposed section.

Photos and Plans



New acoustic louvres to be set back from the edge of the wall  
New louvres to perimeter of the rooftop

**Proposed Roof Plan**  
1 : 50

Fig 7. Proposed roof plan.

<b>Delegated Report</b> (Members Briefing)		<b>Analysis sheet</b>		<b>Expiry Date:</b>	<b>17/07/2024</b>
		N/A / attached		<b>Consultation Expiry Date:</b>	<b>23/06/2024</b>
<b>Officer</b>			<b>Application Number(s)</b>		
Daren Zuk			i) 2024/2047/P ii) 2024/2090/L		
<b>Application Address</b>			<b>Drawing Numbers</b>		
42-43 Queen Square London WC1N 3AQ			<i>See draft decision notice</i>		
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>		
<b>Proposal(s)</b>					
<p>i) External alterations to include installation of canopy lift between lower ground and ground floor level; installation of plant at roof level and quench pipe; removal of existing lift; removal of existing ground floor side elevation window and installation of window and door; installation of vents above the stairs and associated external alterations.</p> <p>ii) External alterations to include installation of canopy lift between lower ground and ground floor level; temporary removal of rooflight to install MRI machine and temporary removal of brickwork to lower ground floor front elevation to install cancer treatment machine; installation of plant at roof level and quench pipe; removal of existing lift; installation of secondary glazing and ; removal of existing ground floor side elevation window and installation of window and door; remedial works to the exterior of the building; the installation of vents above the stairs and associated external alterations. Internal alterations to include installation of bins and cycle parking in the existing vaults; installation of shielded bunker for the cancer treatment machine at lower ground floor level; construction of new partition walls at lower ground, ground, second, third and fourth floor levels; remedial works; installation of new lift and raising of the floor to the rear of 43 Queen Square to provide level access; reinforcement to third floor to support MRI machine; and associated alterations for the use of the building as a healthcare facility (Class E).</p>					
<b>Recommendation(s):</b>		<p>i) Grant planning permission ii) Grant listed building consent</p>			
<b>Application Type:</b>		<p>i) Full Planning Permission ii) Listed Building Consent</p>			
<b>Conditions or Reasons for Refusal:</b>		Refer to Draft Decision Notice			
<b>Informatives:</b>					
<b>Consultations</b>					

<b>Adjoining Occupiers:</b>	No. notified	<b>00</b>	No. of responses	<b>01</b>	No. of objections	<b>00</b>
<b>Summary of consultation responses:</b>	<p>Site Notice: displayed from 29/05/2024 – 22/06/2024  Press Notice: displayed from 30/05/2024 – 23/06/2024</p> <p>One response providing comments and questions was received following statutory consultation:</p> <ol style="list-style-type: none"> <li>1. Questions raised regarding radiation safety measures.</li> <li>2. Request for an audit of proposed emissions of RF and EMF frequencies.</li> <li>3. Concerns regarding the roof level plant machinery and emitted noise and that no alternative cooling methods have been proposed.</li> <li>4. No access route to cycle storage located within front vaults.</li> <li>5. Suggestion that the plant facilities be located within the front vaults.</li> </ol> <p><b>Officer's Response:</b></p> <ol style="list-style-type: none"> <li>1. <i>Matters regarding the operation and maintenance of medical machinery internal to the building are not within the scope of a planning of listed building application.</i></li> <li>2. <i>Matters regarding EMF and RF emissions from medical machinery internal to the building are not within the scope of a planning or listed building application.</i></li> <li>3. <i>The application submission included a noise impact assessment which has been reviewed by the Council's Environmental Health Officer and deemed acceptable. Further details are outlined in Section 5 of this report.</i></li> <li>4. <i>The cycle storage proposed within the front vaults would be accessed via the stairs from street level to the vaults. Section 6 of this report discusses further details.</i></li> <li>5. <i>Options to locate the plant facilities within the front vaults were explored during the pre-application process but were ultimately discounted due to a lack of sufficient height and the significant work required to install the machinery.</i></li> </ol>					

<p><b>Bloomsbury CAAC</b></p>	<p>An objection was received from the Bloomsbury CAAC. Their reasons for objecting are summarized below:</p> <ol style="list-style-type: none"> <li>6. Concerns with the installation of the external platform lift.</li> <li>7. Concerns with the amount of structural work required for installation of the basement machinery, and the requirement for it to be repeated every 5 years.</li> <li>8. Use of the building for medical is misconceived and inappropriate.</li> </ol> <p><b>Officer's Response:</b></p> <ol style="list-style-type: none"> <li>6. <i>The design and impact of the external platform lift on the heritage asset and Conservation Area is discussed in Section 4 of this report.</i></li> <li>7. <i>The impact of the structural work for installation and replacement of the basement machinery is discussed in Section 4 of this report.</i></li> <li>8. <i>The change of use of the site from education (Class F1) to a healthcare facility (Class E) was granted on 15/06/2023 under ref. 2023/1477/P. Thus, the use of the site for a healthcare facility is not assessed as part of this application.</i></li> </ol>
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**Site Description**

The subject site comprises a three-storey (plus lower ground floor and roof level) pair of early 18<sup>th</sup> century houses located at the southern end of Queen Square. The pair is Grade II listed and located within the Bloomsbury Conservation Area. The site is also located adjacent to the grade II listed Italian Hospital and grade II listed 24 Old Gloucester Street and opposite the grade II listed 25 and 26 Old Gloucester Street, the grade II\* listed Church of St George the Martyr and the grade II listed water pump and bollards south of Queen Square. The immediate area is noted as possessing a significant number of medical facilities including the nearby Great Ormond Street Hospital.

42-43 Queen Square are a pair of early 18<sup>th</sup> century houses with later 18<sup>th</sup> and early 20<sup>th</sup> century alterations. They encompass additions made for use by a women's art college at the turn of the last century. The chief significance of the site lies in its 18<sup>th</sup> century fabric, but the college additions also possess significance. The large former college block facing Old Gloucester Street has fairly limited significance internally; however, the ground floor rear studio has architectural and evidential value and the studio space in the attic possess evidential value. Overall, the site's significance includes its architectural design and materials, planform, evidential value as two eighteenth century buildings adapted for female higher education in the late Victorian period, its townscape value including its importance in the setting of adjacent and neighbouring listed buildings and its positive contribution to the character and appearance of the Bloomsbury Conservation Area.

**Relevant History**

**2023/1477/P** – Change of use from Education (Class F1) to Healthcare Facility (Class E). **Granted 15/06/2023**



## Relevant Legislation and Policies

### National Planning Policy Framework (2023)

### The London Plan (2021)

### Camden Local Plan (2017)

- A1 Managing the impact of development
- A4 Noise and Vibration
- D1 Design
- D2 Heritage
- T1 Prioritising walking, cycling and public transport
- C1 Health and Wellbeing

### Camden Planning Guidance

- Amenity (2021)
- Design (2021)

### Bloomsbury Conservation Area Appraisal and Management Strategy (2011)

### Draft Camden Local Plan

The council has published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications, but it has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

## Assessment

### 1. Proposal

#### 1.1. External alterations include:

- Installation of canopy lift between lower ground and ground floor level within front lightwell;
- Installation of a plant at roof level with associated quench pipe and louvres;
- Removal of existing lift at rear;
- Removal of existing ground floor side elevation window and installation of window and louvred door;
- Temporary removal of rooflight to install MRI machine at top floor level;
- Temporary removal of brickwork to lower ground floor front elevation to install cancer treatment machine; and
- Installation of vents above the stairs and associated external alterations.

#### 1.2. Internal alterations include:

- Installation of secondary glazing to existing windows;
- Installation of bins and cycle parking in the existing vaults;
- Installation of shielded bunker for the cancer treatment machine at lower ground floor level;
- Construction of new partition walls throughout;
- Installation of new lift and raising of the floor to the rear of no.43 to provide level access;
- Reinforcement to third floor to support MRI machine; and
- Associated alterations for the use of the building as a healthcare facility (Class E).

## **2. Assessment**

2.1. The material considerations for this application are as follows:

- Land Use
- Design and Conservation
- Amenity
- Transport
- Planning Balance

## **3. Land Use**

3.1. The change of use of the site from education (Class F1) to a healthcare facility (Class E) was granted on 15/06/2023 under ref. 2023/1477/P. Thus, the use of the site for a healthcare facility is not assessed as part of this application.

## **4. Design and Conservation**

### Policy Background

- 4.1. The Council's design policies are aimed at achieving the highest standard of design in all developments, including where alterations and extensions are proposed. Policy D1 of the Local Plan requires development to be of the highest architectural and urban design quality which improves the function, appearance, and character of the area. The Council welcomes high quality contemporary design which responds to its context. Camden's Local Plan Document is supported by Supplementary Planning Guidance CPG (Design).
- 4.2. Local Plan Policy D2 states that the Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas. To comply with Policy D2, extensions to historic properties should integrate with and enhance the host building and not be dominant or obtrusive.
- 4.3. Sections 16, 66, and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 ("the Listed Buildings Act") provide a statutory presumption in favour of the preservation of the character and appearance of Conservation Areas, and the preservation of Listed Buildings and their settings. Considerable importance and weight should be attached to their preservation. A proposal which would cause harm should only be permitted where there are strong countervailing planning considerations which are sufficiently powerful to outweigh the presumption.
- 4.4. The effect of these sections of the Act is that there is a statutory presumption in favour of the preservation of character, appearance, and historic significance of listed buildings and conservation areas. Considerable importance and weight should therefore be attached to their preservation. Should the Council define 'harm' it would only be permitted where there are strong countervailing planning considerations which are sufficiently powerful to outweigh harm. Section 16 of the NPPF provides guidance on the weight that should be accorded to harm to heritage assets and in what circumstances such harm might be justified.

4.5. The duties imposed by the Listed Buildings Act are in addition to the duty imposed by section 38(6) of the Planning and Compulsory Purchase Act 2004, to determine the application in accordance with the development plan unless material considerations indicate otherwise.

#### Application Site Description

4.6. The application site is a pair of Grade II listed buildings located in the Bloomsbury Conservation Area dating from the early 18th century with later 18th and early 20th century alterations. They encompass additions made for use by a women's art college at the turn of the last century. The chief significance of the site lies in its 18th century fabric, but the college additions also possess significance. The large former college block facing Old Gloucester Street has fairly limited significance internally; however, the ground floor rear studio has architectural and evidential value and the studio space in the attic possess evidential value. Overall, the site's significance includes its architectural design and materials, planform, evidential value as two eighteenth century buildings adapted for female higher education in the late Victorian period, its townscape value including its importance in the setting of adjacent and neighbouring listed buildings and its positive contribution to the character and appearance of the Bloomsbury Conservation Area.

#### External Works

4.7. A canopy lift installed to the front lightwell is proposed to serve the refuse and recycling stores within the front vaults. Although the canopy lift would result in some visual clutter in views from the pavement, it is noted that an existing wall screens the section of the lightwell that it would occupy. No removal of the historic fabric is required; thus, the lift canopy is considered acceptable in this instance.

4.8. At the roof level, new plant facilities are proposed to be installed along with acoustic louvres to the east, south, and west elevations. The acoustic louvres would be visible from part of the public realm but are not widely visible given the height of the building and the width of Old Gloucester Street. The louvres would be aluminium and finished in an appropriate colour, the details of which will be secured by condition. The plant facilities are considered to be appropriately screened so as not to harm the character and setting of the host buildings nor that of the wider Conservation Area.

4.9. Within a central lightwell, the existing lift machinery will be removed, and the modern glazed structure retained and reutilised as additional interior floor space. This element of the building is of modern construction; thus, there is no objection to its removal and re-utilisation.

4.10. Along the side elevation, an existing window is proposed to be replaced with a louvred door to provide UKPN with access to an interior transformer room. The result is considered less sympathetic than the existing arrangement and is at odds with the character of the building and Conservation Area in this context. However, an attempt has been made to mitigate the visual impact with the inclusion of a 'glazing bar' and it is accepted that the harm caused is at the lower end of less than substantial. Thus, the installation of the louvred door is considered acceptable when balanced against the benefits of the wider proposal. Details of the door will be secured by condition.

- 4.11. The temporary removal of the existing roof light along the front roof slope is proposed to install an MRI machine at the fourth floor level. These works are considered acceptable, as the existing roof light will be reinstated upon the installation of the MRI machine.
- 4.12. External vents are proposed to be installed to a modern portion of the roof level, which is considered acceptable given its lack of visibility from the public realm. As the roof is of modern construction, it will not harm the special character or setting of the host building.
- 4.13. The main external works comprise the partial demolition of the front elevation at the basement level to install a cancer treatment machine in the front basement room of no.42. This would require the temporary removal of historic fabric, with the facade and window being reinstated after installation. The same portion of the elevation would need to be demolished and reinstated periodically (every 5 years) to replace crucial elements of the machinery. The works would require the demolition of historic fabric but are considered to be in the least impactful location as the facade is rendered at the basement level and can be easily replicated, thus minimising the harmful impact on the host building. Although the works would cause less than substantial harm to the host building, the harm can be balanced (as discussed below) against the benefits of the scheme including provision a new healthcare facility. A condition has been included to ensure that the reinstated window and facade treatment will match as closely as possible. An additional condition has been included, which requires the submission of a methodology statement for the removal of the cancer treatment machined and related structures at the end of the lease.

#### Internal Works

- 4.14. Installation of secondary glazing to the existing windows throughout the property is considered acceptable. This will help conserve the special character of the host buildings while retaining the historic windows in situ.
- 4.15. The provision of bin and cycle storage within the front vaults does not raise any concerns, as the vaults will not be altered, nor any historic fabric lost.
- 4.16. At the basement level, a new cancer treatment machine and associated steel box frame are proposed to be installed in the front room of no.42. This is considered the most appropriate location due to its accommodating floor-to-ceiling height and accessible location for installation of the machinery. While the relocation of chimneypieces within listed buildings is rarely encouraged, in this instance it is considered that relocating the Majolica chimneypiece from the proposed cancer treatment room to the unaffected equivalent room in the neighbouring basement at no.43 is considered acceptable in this instance.
- 4.17. New partition walls are proposed throughout the site, particularly within the rear wing which is of C20th construction. These are considered acceptable as the areas proposed to be partitioned are of lesser significance and therefore the harm can be supported as it alleviates harm to the C18th platform of the two houses to which it is attached.
- 4.18. A new internal lift is proposed within the rear wing of the site, which is of C20th construction. This is considered the most sensitive location, with the least amount of historic fabric lost as a result of the works.

4.19. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the listed building and surrounding conservation area under s.16, s.66, and s.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. The size, scale, design and location of the proposed alterations are not considered to cause harm to the special architectural and historic significance of the listed building or the character of the surrounding conservation area.

4.20. As such, the proposed development would preserve the significance of the host listed building and the character or appearance of the Bloomsbury Conservation Area, meeting the statutory tests set out in the NPPF and complying with Policies D1 and D2 of the Camden Local Plan.

## **5. Amenity**

5.1. Local Plan Policy A1 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. It seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission for redevelopment that would not harm the amenity of neighbouring residents. This includes privacy, outlook, daylight, sunlight and noise. CPG Amenity provides specific guidance concerning privacy and outlook.

5.2. The proposed works to the interior of the two listed buildings are not considered to have a material impact on the amenity of any neighbouring residential occupier. The exterior elevation works, limited to changes to a window and door along the side elevation, are considered minor and will similarly not have a material impact on the amenity of any adjoining residential occupier.

5.3. At roof level, new plant facilities are proposed along with associated metal louvres along the perimeter of the roof level. A noise impact assessment was completed in line with British Standard 4142:2014, to assess the significance of the sound impact on nearby sensitive receptors. The assessment refers only to the external plan at the roof level and does not include the MRI scanner.

5.4. Camden's Noise Policy for "Plant and Machinery" (Appendix 3 of the Local Plan 2017) identifies a Green Design Criterion for plant noise, which is where the noise level is 10dB below background and considered to be at an acceptable level. The assessment demonstrates that with mitigation measures the predicted daytime noise levels are below Camden's Green Design Criterion, which in turn corresponds to the No Observed Effect Level (NOEL) in terms of NPPF.

5.5. Camden's Noise Policy for "Plant and Machinery" (Appendix 3 of the Local Plan 2017) identifies a Green Design Criterion for plant noise, which is where the noise level is 10dB below background and considered to be at an acceptable level. The assessment demonstrates that with mitigation measures the predicted nighttime noise levels are below Camden's Green Design Criterion, which in turn corresponds to the No Observed Effect Level (NOEL) in terms of NPPF.

5.6. The noise report did not include a detailed noise assessment for the operation of the MRI. MRI rooms require a high level of acoustic and vibration isolation as they generate high noise levels. Further details on the proposed mitigation measures and compliance with external noise levels at the nearest sensitive receptors will be secured by condition.

5.7. To mitigate noise impacts on neighbouring occupiers, the fresh air inlet and exhaust noise paths of the AHUs shall be fitted with atmospheric duct attenuators, and the chiller shall be fitted with compressor jackets and a discharge attenuator. Acoustic screening is required at the perimeter of the plant facilities, which is proposed in the form of metal louvres. This screening shall be applied to the east, south, and west elevations of the plant compound, with the north elevation being the building itself. The screening on all elevations will run to a height of at least 3m from the floor level of the plant compound. The screening will be conducted from acoustic louvres at the eastern and southern elevations. Details of the roof level louvres will be secured by condition. Vibration control measures shall include anti-vibration mountings to all equipment, which will be secured by condition.

5.8. A noise impact assessment was submitted indicating that, with the provision of mitigation measures outlined above, the noise emitted from the plant facilities would be within the requirements of policy A4. The proposals have been reviewed by the Council's Environmental Health team, who deem them acceptable. Conditions are attached to ensure that noise from the plant does not exceed the required levels.

5.9. Overall, the works would not have any negative impact on the amenity currently enjoyed by neighbouring residents and would therefore comply with policies A1 and A4 of the Camden Local Plan 2017.

## **6. Transport**

6.1. No objection is raised to installing a platform lift within the front lightwell to transport refuse and recycling bins between the vault storage and street level.

6.2. The three remaining vaults are to be used to provide cycle storage, with 5-7 Sheffield stands per vault totalling 18 cycle parking spots. The provision of these will be secured by condition.

## **7. Planning Balance**

7.1. The proposals are considered to cause less than substantial harm to several elements of the significance of the site, chiefly to the special architectural and historic interest by reason of partial loss of fabric, significant alteration to the legibility of evidential value in some spaces, and partial loss of the original structural integrity of the historic façade.

7.2. Despite the identified harm, several benefits are offered as part of the proposals, including the sympathetic redecoration of the building and removal of redundant services. If the building were not to be enhanced in the manner proposed, its significance would not be greatly diminished. If the proposed works were to be executed, then its significance would be diminished, albeit less than substantially. It is, therefore, not considered appropriate to balance the harm caused against the proposed heritage benefits on their own.

7.3. Therefore, the proposals must be balanced under paragraphs 208 of the NPPF:

*'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.'*

- 7.4. Section 72(1) of the Listed Buildings Act 1990 directs: In the exercise of various functions under the Planning Acts in relation to land in conservation areas (including determination of planning applications) the Council is required to pay special attention to the desirability of preserving or enhancing the character and appearance of the Conservation Area.
- 7.5. In the matter of the character and appearance of the Conservation Area, it is considered that the works cause a degree of harm and that these are chiefly related to the acoustic louvres at roof level. The canopy lift within the front lightwell would result in some visual clutter when looking into the lightwell, but it is noted that an existing wall screens the section of the lightwell that it would occupy. The acoustic louvres at the roof level would be visible from parts of the public realm, but they are not widely visible given the height of the existing building and the width of Old Gloucester Street. There are also some remedial works relating to the repair of historic fabric which would moderately enhance the contribution which the site makes to the character and appearance of the Conservation Area. Taken on balance the proposed works would cause less than substantial harm to the character and appearance of the conservation area but at the lower end of that scale.
- 7.6. Section 66(1) of the Listed Buildings Act 1990 directs: In considering whether to grant planning permission for development which affects a listed building or its setting, the Council is required to have special regard to the desirability of preserving the listed building or its setting or any features of special architectural or historic interest which it possesses.
- 7.7. In that matter the assessment of the impact on the character and appearance of the Conservation Area is applicable to the setting of neighbouring listed buildings.
- 7.8. Section 16(2) of the Listed Buildings Act 1990 (Planning (Listed Buildings and Conservation Areas) Act 1990) directs: In considering whether to grant listed building consent for any works, the Council is required to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest, which it possesses.
- 7.9. In the matter of the special architectural and historic interest of the listed building there are areas where less than substantial harm would be caused. This relates to the loss of the historic structural integrity of the basement façade of the proposed cancer treatment room, the visual clutter of the canopy lift within the front lightwell, the loss of legibility of the basement cancer treatment room as an historic space, the addition of the acoustic louvre at roof level, and the subdivision of the rear rooms in the main building to accommodate risers. There are also works of restoration and general decorative improvement to the most significant spaces within the interior which are of heritage benefit. On balance, and when compared to the existing condition of the building, the proposals would result in less than substantial harm to some of the interior spaces and enhancement of others. However, the spaces where less than substantial harm would occur are the less significant spaces and the areas of higher significance would have their significance retained and enhanced.
- 7.10. The chief benefits offered as part of the proposal is the provision of a new cancer treatment healthcare facility. The application has suitably rationalised that this specific building

is the best suited for the facility, given its proximity to neighbouring medical facilities in the immediate area, including Great Ormond Street Hospital, the National Hospital for Neurology and Neurosurgery, UCL Institute of Cognitive Neuroscience, among others. The applicant has demonstrated that the harm caused as a result of the works does not exceed what is required to deliver the optimum level of public benefit, including restoration of the listed buildings and provision of the new medical facility. On balance, it is considered that the less than substantial harm caused by the proposed works can be weighed against the public benefits, primarily the provision of a new medical facility, which would support existing neighbouring medical uses and further secure the area as a leading centre for medical research and treatment in central London.

## **8. Conclusion and Recommendations**

8.1. In conclusion, the proposed works would preserve the significance and setting of the listed building and the character and appearance of this part of the Bloomsbury Conservation Area. As such, the proposals are considered to accord with the requirements of Policies A1, D1, D2 and C1 of the Camden Local Plan 2017. It is therefore recommended that planning permission and listed building consent are granted subject to relevant conditions.

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 23<sup>rd</sup> September 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***



Application ref: 2024/2047/P  
Contact: Daren Zuk  
Tel: 020 7974 3368  
Email: Daren.Zuk@camden.gov.uk  
Date: 27 August 2024

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE

Phone: 020 7974 4444

[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

Maddox Planning  
33 Broadwick Street  
London  
W1F 0DQ

Dear Sir/Madam

**DECISION**

Town and Country Planning Act 1990 (as amended)

**Full Planning Permission Granted**

Address:

**42-43 Queen Square**  
**London**  
**WC1N 3AQ**

Proposal:

External alterations to include installation of canopy lift between lower ground and ground floor level; installation of plant at roof level and quench pipe; removal of existing lift; removal of existing ground floor side elevation window and installation of window and door; installation of vents above the stairs and associated external alterations.

Drawing Nos: (Prefix 4952) 08A, 101, 102, 103, 105, 106, 107, 109 B, 110 D, 111 B, 113, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213 A, 214, 215, 216, 400, 401, 402, 403, 404, 405, 501, 503, 600, 601, 602, 603, 650, 810, 811, 812, 813

Documents:

Cover Letter, Planning Statement, Design and Access Statement, Heritage Statement, Amethyst Service Operations Letter, Fire Statement, MEP Stage 2 Report, Works Schedule, Structural Design Philosophy, Noise Impact Assessment, Existing Photographs

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Drawings:

(Prefix 4952) 08A, 101, 102, 103, 105, 106, 107, 109 B, 110 D, 111 B, 113, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213 A, 214, 215, 216, 400, 401, 402, 403, 404, 405, 501, 503, 600, 601, 602, 603, 650, 810, 811, 812, 813

Documents:

Cover Letter, Planning Statement, Design and Access Statement, Heritage Statement, Amethyst Service Operations Letter, Fire Statement, MEP Stage 2 Report, Works Schedule, Structural Design Philosophy, Noise Impact Assessment, Existing Photographs

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The secure and covered cycle storage area shown in drawing no. '4952-109 B' shall be provided in its entirety prior to occupation, and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy T1 of the London Borough of Camden Local Plan 2017.

- 5 The external noise level emitted from plant, machinery or equipment at the development with specified noise mitigation hereby approved shall be lower than the typical existing background noise level by at least 10dBA, by 15dBA where the source is tonal, as assessed according to BS4142:2014 at the nearest and/or most affected noise sensitive premises, with machinery operating at maximum capacity and thereafter be permanently retained.

The proposed plant shall be installed and constructed to ensure compliance with the limits and mitigation measures identified in the Eurovib Ltd Noise Impact Assessment ref: CPT/071223/005/Rev03 DRAFT.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise from mechanical installations/ equipment in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 6 The use of the MRI unit hereby approved shall not commence until an acoustic report has been submitted to and approved by the Local Planning Authority. The report must set out the sound level generated from the use of the MRI scanner and state the noise control measures to be employed to ensure the noise does not exceed a level of 10dB(A) plus penalty according to BS4142:2014 below typical background noise levels at the façade of the nearest or most noise affected residential property during operational hours.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise from mechanical installations/ equipment in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 7 Prior to use, machinery, plant or equipment at the development shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and maintained as such.

Reason: To ensure that the amenity of occupiers of the development site and surrounding premises is not adversely affected by vibration in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2023.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer

**DRAFT**

**DECISION**

Application ref: 2024/2090/L  
Contact: Daren Zuk  
Tel: 020 7974 3368  
Email: Daren.Zuk@camden.gov.uk  
Date: 27 August 2024

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE

Phone: 020 7974 4444

[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

Maddox Planning  
33 Broadwick Street  
London  
W1F 0DQ

Dear Sir/Madam

**DECISION**  
**DRAFT**

Planning (Listed Building and Conservation Areas) Act 1990

### **Listed Building Consent Granted**

Address:  
**42-43 Queen Square**  
**London**  
**WC1N 3AQ**

#### Proposal:

External alterations to include installation of canopy lift between lower ground and ground floor level; temporary removal of rooflight to install MRI machine and temporary removal of brickwork to lower ground floor front elevation to install cancer treatment machine; installation of plant at roof level and quench pipe; removal of existing lift; installation of secondary glazing and ; removal of existing ground floor side elevation window and installation of window and door; remedial works to the exterior of the building; the installation of vents above the stairs and associated external alterations. Internal alterations to include installation of bins and cycle parking in the existing vaults; installation of shielded bunker for the cancer treatment machine at lower ground floor level; construction of new partition walls at lower ground, ground, second, third and fourth floor levels; remedial works; installation of new lift and raising of the floor to the rear of 43 Queen Square to provide level access; reinforcement to third floor to support MRI machine; and associated alterations for the use of the building as a healthcare facility (Class E).

Drawing Nos: (Prefix 4952) 08A, 101, 102, 103, 105, 106, 107, 109 B, 110 D, 111 B, 113, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213 A, 214, 215, 216, 400, 401, 402, 403, 404, 405, 501, 503, 600, 601, 602, 603, 650, 810, 811, 812, 813

#### Documents:

Cover Letter, Planning Statement, Design and Access Statement, Heritage Statement, Amethyst Service Operations Letter, Fire Statement, MEP Stage 2 Report, Works Schedule, Structural Design Philosophy, Noise Impact Assessment, Existing Photographs

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

(Prefix 4952) 08A, 101, 102, 103, 105, 106, 107, 109 B, 110 D, 111 B, 113, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213 A, 214, 215, 216, 400, 401, 402, 403, 404, 405, 501, 503, 600, 601, 602, 603, 650, 810, 811, 812, 813

Documents:

Cover Letter, Planning Statement, Design and Access Statement, Heritage Statement, Amethyst Service Operations Letter, Fire Statement, MEP Stage 2 Report, Works Schedule, Structural Design Philosophy, Noise Impact Assessment, Existing Photographs

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 4 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

- a) Plan, elevation and section drawings of the louvred door at a scale of 1:10.
- b) Plan, elevation and section drawings of the roof level acoustic louvres at a scale of 1:10.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 5 Prior to the relevant parts of the works begin, a methodology statement, including joinery repairs, roof repairs, and stone and brickwork repairs/cleaning, shall be submitted to and approved in writing by the local planning authority. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 6 Prior to the relevant parts of the works begin, a specification and methodology for internal wall, ceiling and floor finishes (where these are to be altered) shall be submitted to and approved in writing by the local planning authority. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 7 Prior to the final removal of the medical equipment located at basement level at the end of the lease, a methodology statement, including details of removal and how the internal and external fabric will be reinstated, shall be submitted to and approved in writing by the local planning authority. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2023.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer